



Front (East) Facade



Rear (West) Facade

## **EXECUTIVE SUMMARY**

The commercial building at 10 Commercial Street in Livonia, NY is currently occupied by the Maurice Sweeney Museum and Livonia Historical Society. This building was constructed ca. 1869 and formerly housed the Stewart National Bank.

It is a two-story, commercial brick masonry building in Italianate design with rectangular massing and a flat roof. The front (east) facade is a two-part commercial block whose ground story is a contemporary bank storefront and an offset entrance within a monolithic travertine veneer. The second story features the regular fenestration of three elliptically arched 1/1 double hung wood windows with decorative stone lintels. The facade is topped with a pressed metal cornice spanning between its bracketed ends.

The rear (west) elevation is three stories in height due to the change in grade. The rear is utilitarian in design with common red brick masonry with semi-arched window openings with various replacement window types.

The building is generally in good condition. Some brick needs restoration and repointing. The contemporary storefront is in good condition. The non-historic steel entry doors and second story windows are deteriorated. The cornice needs restoration.

The owner would like the scope of work to include replacing the roofing, restoring the first floor façade to the appearance of the historic façade, replacing the front entry doors with energy efficient wood doors, restoring and cleaning the existing brick at second story, restoring the second story windows and sills, and restoring and painting the parapet and cornice.

The following scope is recommended:

- 1) Complete roof tear-off and removal. Install insulated EPDM roofing system with 20 yr min. warranty (Firestone or approved equal) tapered to drains.
- 2) Restore 2<sup>nd</sup> story storm windows & install in windows
- 3) Install new double entry door system
- 4) Install a new sign in historic location just below cornice
- 5) Install new exterior lighting
- 6) Re-slope concrete sidewalk for ADA-complying access to the front doors
- 7) Install new fypon cornice between first and second story



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**LIVONIA HISTORICAL MUSEUM**  
**10 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 B**

**SHEET 1 OF 7 – JUNE 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_



Ca. 1879 Photo



Ca. 1970 Photo

## BUILDING CODE STATUS

After preliminary discussion with the Village Code Enforcement Officer, it was reported that there are no outstanding code violations. The building is currently in compliance

## GENERAL BUILDING CONDITIONS ANALYSIS

The building appears to be in good condition overall. There is ceiling damage reflecting roofing deterioration. There is water damage to portions of the windows.

The façade represents an interesting amalgam of two different uses in two different eras and two architectural styles to downtown retail. The design approach within a limited budget is to have a light touch, restoring the original building elements where they remain.



Clinton Brown Company Architecture pc  
 The Market Arcade 617 Main Street, Suite M303  
 Buffalo, New York 14203  
 Ph. 716-852-2020 fax. 716-852-3132  
 © 2015

**LIVONIA HISTORICAL MUSEUM**  
**10 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
 15-011 B

SHEET 2 OF 7 – JUNE 2015

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_

# PROPOSED DESIGN CONCEPT RENDERING



Front (East) Façade Rendering



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**LIVONIA HISTORICAL MUSEUM**  
**10 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 B**

SHEET 3 OF 7 – JUNE 2015

Owner Approval: \_\_\_\_\_

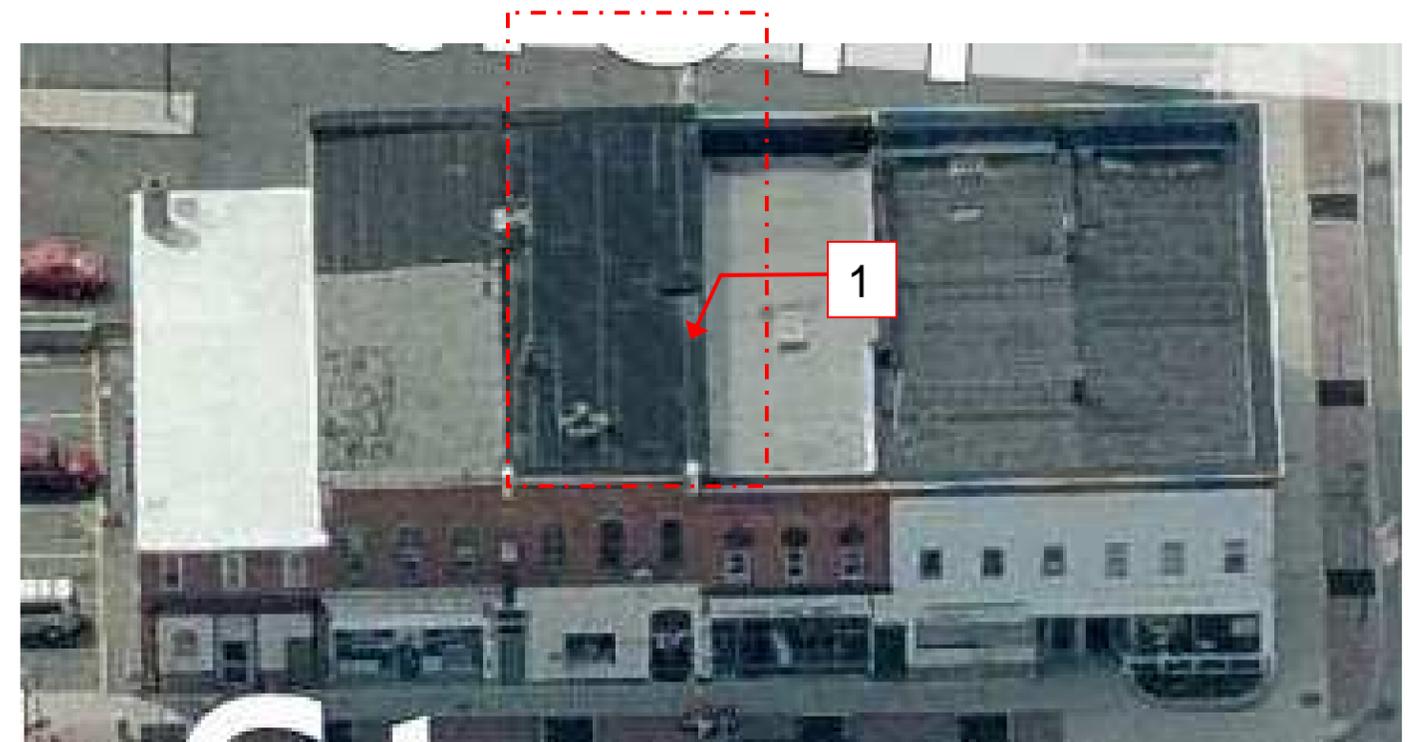
Date: \_\_\_\_\_

# RECOMMENDED FAÇADE RENOVATIONS

# SCOPE OF WORK



Front (East) Façade Rendering



Aerial View of Livonia Historical Museum

- 1) Complete roof tear-off and removal. Install insulated EPDM roofing system with 20 yr min. warranty (Firestone or approved equal) tapered to drains.
- 2) Restore 2<sup>nd</sup> story storm windows & install in windows
- 3) Install new double entry door system
- 4) Install a new sign in historic location just below cornice
- 5) Install new exterior lighting
- 6) Re-slope concrete sidewalk for ADA-complying access to the front doors
- 7) Install new fypon cornice between first and second story



Clinton Brown Company Architecture pc  
 The Market Arcade 617 Main Street, Suite M303  
 Buffalo, New York 14203  
 Ph. 716-852-2020 fax. 716-852-3132  
 © 2015

**LIVONIA HISTORICAL MUSEUM**  
**10 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
 15-011 B

SHEET 4 OF 7 – JUNE 2015

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_

# SPECIFICATIONS OF NEW WORK

## Cornice –

- Install Fypon Moulding Cornice MLD545-12 or approved equal.



## Paint –

- Paint Fypon cornice, restored wood storm windows, and double entry doors Benjamin Moore Lafayette Green or approved equal.



HC-135  
lafayette green

## Signage –

- Install sign directly below cornice, Aluma-lite Panel or HDU Board.
- Final design & style to be approved by Owner

## Lighting –

- Install two (2) Omni 1-Light Silver Outdoor Fluorescent Small Wall Light with Amber Shade light fixtures (Model # PW559BAMSICF1HEW) or approved equal at first floor as shown in rendering.



## Repair Existing Wood Storm Windows –

- Repair storm windows to operational use. Replace deteriorated elements to match existing
  - Install into 2<sup>nd</sup> floor windows.
- \* Window Restoration work to be consistent with National Park Service Preservation Brief #9: The repair of Historic Wooden Windows*

## Roof –

*EPDM Roof – New EPDM roof by Firestone or approved equal as a design-build roofing project by the General Contractor's roofer. The Architect is not designing the roof. The roofer must be certified by the manufacturer of the roofing system. The manufacturer must certify the installation to the owner.*

## Entry Doors –

- Install double Therma-Tru Smooth-Star Fiberglass Entry door system, Style # S6021 or approved equal.



## Re-sloping Sidewalk –

- Re-slope concrete sidewalk for ADA-complying access to the front doors
- Slope is given as a ratio of the height to the length. 1:12 means for every 12 inches along the base of the ramp, the height increases one inch. For a 1:12 maximum slope, at least one foot of ramp length is needed for each inch of height



Before Step Removal



After Step Removal



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**LIVONIA HISTORICAL MUSEUM**  
**10 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 B**

**SHEET 5 OF 7 – JUNE 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

## General Notes:

### PRE-BID

Note 1:A pre-bid site visit will be scheduled during the bid period by the Livingston County Development Corporation Downtown Coordinator, Louise Wadsworth, (585) 243-6930. The scope of work has been approved by the NYS Historic Preservation Office & NY Main Street Program in accordance with the requirements of the NY Main Street Program Grant Funds. The NY Main Program does not require prevailing wage rate for bids.

### BID

Note 2:Provide add and deduct unit costs and units for materials as indicated in the specifications.

### CONTRACT

Note 3:The Contractor shall obtain all required building permits and pay all fees.

Note 4:The Contractor shall field verify all existing conditions prior to the start of work. If there are any discrepancies, contact the Architect.

Note 5:All work by the General Contractor, subcontractors and suppliers shall be carried out in accord with AIA document A201, General conditions of the contract for construction. Please contact Architect for a copy.

Note 6:The Contractor shall provide temporary barricades and protection for safety during and after working hours.

Note 7:The Contractor shall keep the work and surrounding areas clean during and after working hours. Remove all waste, debris and removed material at the end of each working day.

Note 8:Prior to the start of construction the Contractor shall provide Livingston County Development Corporation with all current insurance certificates.

Note 9:All work shall be in accordance with the New York Main Street Program – Property Owner Agreement, obtain from Livingston County Development Corporation. The Contractor will guarantee work for 1 year.

Note 10: The Contractor shall provide (1) set of shop drawings and / or product information to the Architect for review and approval. All color selections will be approved by the Owner and Architect. Only approved shop drawings and submittals are allowed at the site.

### CHANGES

Note 11: Any change in the work must be reviewed by the LCDC Downtown Coordinator and the Architect. The Contractor shall provide sequentially numbered change order proposals that include changes in work scope, costs and time. Any changes made prior to an approved change order will be completed at the contractor's risk. Prepare change requests on AIA document furnished by the Architect.

### CLOSE OUT

Note 12: Project close out: The Contractor shall inform the Program Manager and the Architect when all contracted work has been completed. A final site inspection will be scheduled. Any outstanding work and all warranties must be completed prior to the final payment.

## General Specifications:

- 1.0 General Contractor and all Sub-Contractors must be certified by the product manufacturer where certification of installation is available by manufacture for safety.
- 2.1 Protect adjacent property during construction. Provide all necessary temporary fencing and locate staging area for materials and location for dumpster.
- 2.3 Coordinate all electrical removals and connections with the local electrical utility company. Coordinate work with telephone company.
- 6.1 All wood blocking and trim shall be pressure treated. Match profiles indicated on the documents.
- 6.3 All plywood shall be CDX for wall sheathing. Use high-density urethane (HDU) or Aluma-lite Panel board for signs. All other plywood shall be water retardant.
- 7.1 New metal flashing shall match existing in material thickness and color.
- 7.5 All sealant shall be 25 year, silicone based sealant for each application required.
- 8.1 Install all work as per manufacturer's instructions.
- 9.1 All paint shall be the type required for each application. Provide Architect with product information and color chart for each application.
- 10.1 New canvas awnings shall be constructed of aluminum tubing with anchoring per manufacturer's recommendation. Architect and Owner shall select and approve awning color and pattern.



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**LIVONIA HISTORICAL MUSEUM**  
**10 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 B**

**SHEET 6 OF 7 – JUNE 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

## ORDER OF MAGNITUDE COST ESTIMATES

<b>PROPOSED SCOPE OF WORK</b>	<b>Total Construction Cost</b>
10 Commercial Street, Livonia	
<b><u>SCOPE OF WORK –</u></b>	
<b><u>SCOPE OF WORK</u></b>	
1) Complete roof tear-off and removal. Install insulated EPDM roofing system with 20 yr min. warranty (Firestone or approved equal) tapered to drains.	\$ 18,000
2) Restore 2nd story storm windows & install in windows	\$ 800
3) Install new double entry door system	\$ 5,000
4) Install a new sign in historic location just below cornice	\$ 1,800
5) Install new exterior lighting	\$ 380
6) Re-slope concrete sidewalk for ADA-complying access to the front doors	\$ 425
7) Install new fypon cornice between first and second story	\$ 860
<b>PRELIMINARY PROJECT BUDGET</b>	<b>\$ 27,265</b>



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**LIVONIA HISTORICAL MUSEUM**  
**10 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 B**

SHEET 7 OF 7 – JUNE 2015

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_



Front (East) Facade



Rear (West) Facade



Side (North) Facade



Aerial View of Roof

## EXECUTIVE SUMMARY

The ca. 1875 commercial building at 2-4 Commercial Street in Livonia, NY is currently home to Shelby's Restaurant and vacant tenant space.

It is a two-story, commercial brick masonry building in modest Italianate design with rectangular massing and a flat roof. The front (east) facade is a two-part commercial block with a ground story consisting of recessed paired entrances flanked to either side by storefront windows on paneled wood bulkheads. The storefront has been previously rebuilt in wood to compatibly reflect the original cast iron supports, signboard, and cornice. The second story has been covered in aluminum siding, artificially reducing the size of the six window openings. The brick cornice remains and is continuous with the neighboring building.

The side (north) elevation fronts Main Street and is characterized by the painted brick masonry, arched-top masonry openings with brick arched lintels, and decorative brick frieze. The rear (west) elevation is three story due to the change in grade. The rear elevation has been covered in siding as well, covering the original window openings. Some original cast iron storefront members remain.

The building is generally in good condition. The owner's scope of work includes :

- Remove vinyl siding from 2nd floor
- Restore original masonry window openings as shown in historic photos. Replace 2nd floor windows on front (6), side(3) and rear (12) elevations – 21 total
- Complete storefront improvements to match south storefront
- Replace roofing system
- Update electrical system for 2nd floor apartments



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**2-4 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 C**

**SHEET 1 OF 9 – JUNE 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_



Ca. 1879 Photo

## BUILDING CODE STATUS

After preliminary discussion, the Village of Livonia Code Enforcement Officer has not reported any code violations. Building is currently in compliance.

## GENERAL BUILDING CONDITIONS ANALYSIS

A review of existing visible exterior façade conditions at 2-4 Commercial Street, Livonia shows that the building appears to be in good condition.



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**2-4 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 C**

**SHEET 2 OF 9 – JUNE 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

# PROPOSED DESIGN CONCEPT RENDERINGS



Front (East) Facade



Side (North) Facade



Rear (West) Facade



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

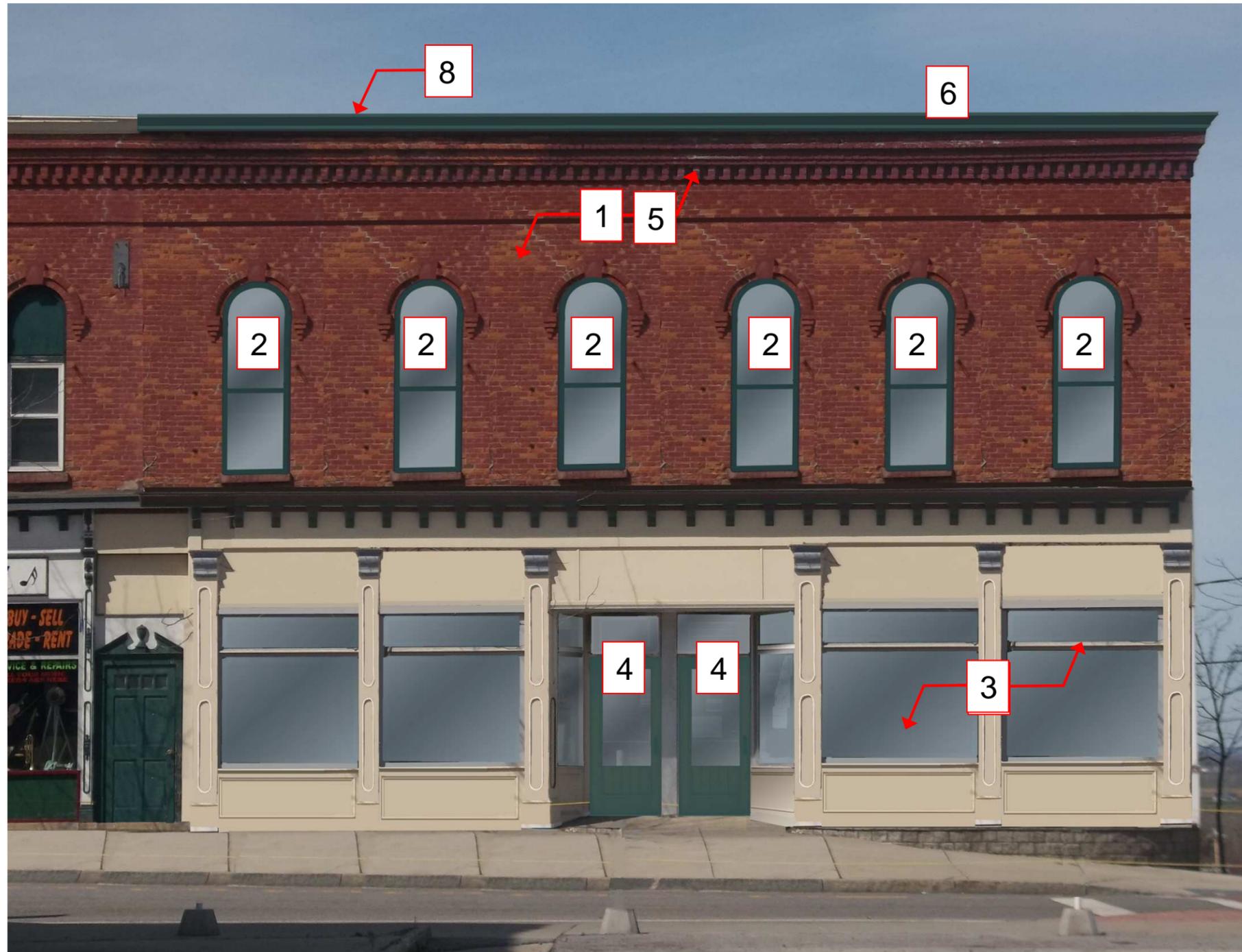
**2-4 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 C**

SHEET 3 OF 9 – JUNE 2015

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_

## RECOMMENDED FAÇADE RENOVATIONS



Front (East) Facade

## SCOPE OF WORK – FRONT FACADE

- 1) Remove vinyl siding and associated components
- 2) Remove existing windows and associated components. Replace with aluminum clad double hung wood window to replicate visual characteristics of the original units based on photographic evidence.
- 3) Remove existing storefront (north storefront only, protect south storefront) and associated components. Reconstruct north storefront to match the already completed south storefront.
- 4) Remove existing entrance doors and associated components. Replace with  $\frac{3}{4}$  lite aluminum storefront door with transom above.
- 5) Repoint missing/or deteriorated mortar with mortar to match existing in mix, color, and profile
- 6) Repair, prime, and paint metal cornice
- 7) Install fabric awnings (REAR FAÇADE ONLY)
- 8) Complete roof tear-off and removal. Install insulated EPDM roofing system with 20 yr min. warranty (Firestone or approved equal) tapered to drains.



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**2-4 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 C**

**SHEET 4 OF 9 – JUNE 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

## RECOMMENDED FAÇADE RENOVATIONS



Side (North) Facade

## SCOPE OF WORK – SIDE ELEVATION

- 1) Remove Siding and associated components
- 2) Remove existing windows and associated components. Replace with aluminum clad double hung wood window to replicate visual characteristics of the original units based on photographic evidence.
- 3) Remove existing storefront (north storefront only, protect south storefront) and associated components. Reconstruct north storefront to match the already completed south storefront.
- 4) Remove existing entrance doors and associated components. Replace with  $\frac{3}{4}$  lite aluminum storefront door with transom above.
- 5) Re-point missing/or deteriorated mortar with mortar to match existing in mix, color, and profile
- 6) Repair, prime, and paint metal cornice
- 7) Install fabric awnings
- 8) Complete roof tear-off and removal. Install insulated EPDM roofing system with 20 yr min. warranty (Firestone or approved equal) tapered to drains.



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

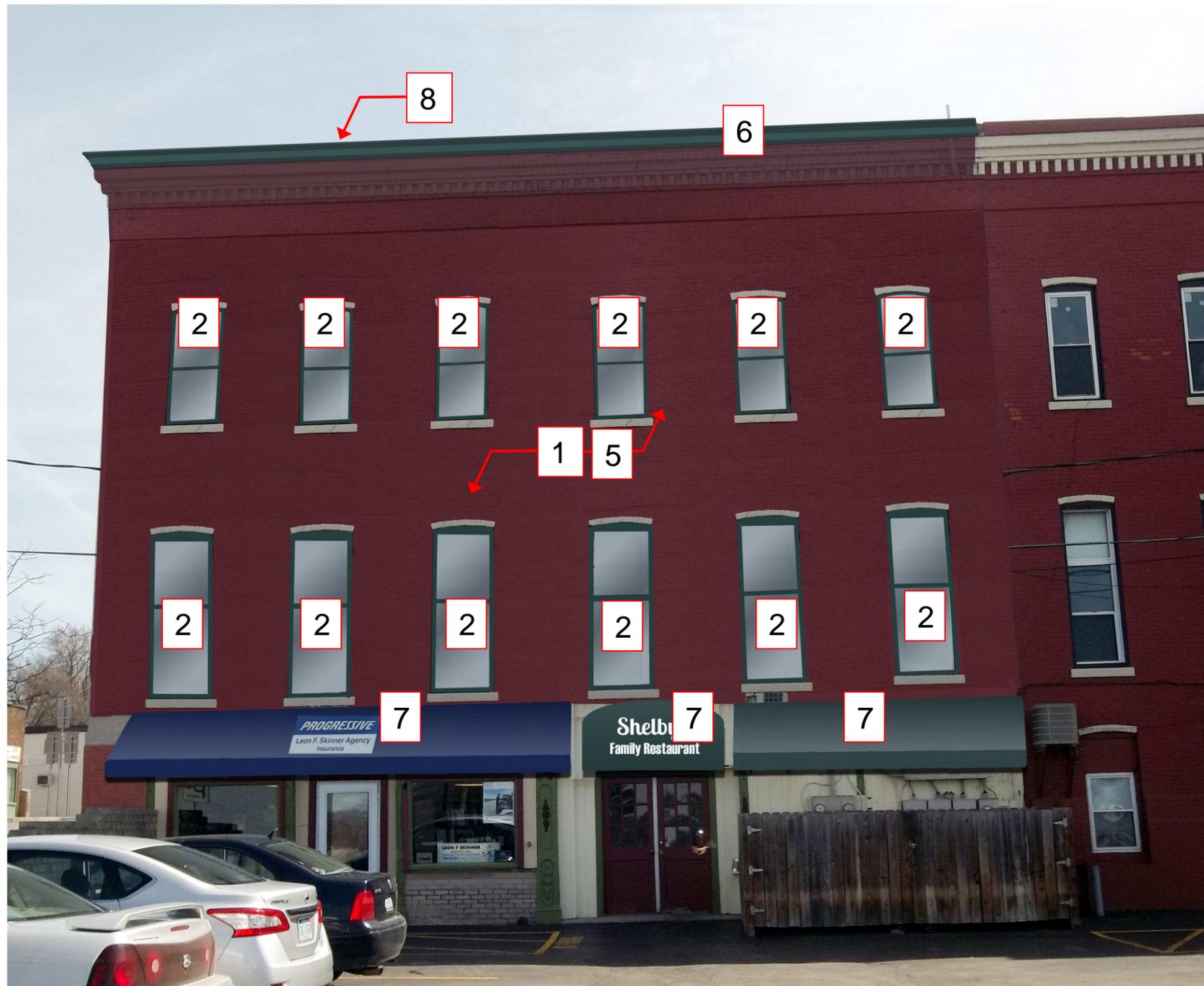
**2-4 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 C**

**DRAFT EVALUATION**  
**SHEET 5 OF 9 – MAY 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

## RECOMMENDED FAÇADE RENOVATIONS



Rear (West) Facade

## SCOPE OF WORK – REAR ELEVATION

- 1) Remove vinyl siding and associated components
- 2) Remove existing windows and associated components. Replace with aluminum clad double hung wood window to replicate visual characteristics of the original units based on photographic evidence.
- 3) Remove existing storefront (north storefront only, protect south storefront) and associated components. Reconstruct north storefront to match the already completed south storefront.
- 4) Remove existing entrance doors and associated components. Replace with  $\frac{3}{4}$  lite aluminum storefront door with transom above.
- 5) Re-point missing/or deteriorated mortar with mortar to match existing in mix, color, and profile
- 6) Repair, prime, and paint metal cornice
- 7) Install canvas fabric awnings with signage
- 8) Complete roof tear-off and removal. Install insulated EPDM roofing system with 20 yr min. warranty (Firestone or approved equal) tapered to drains.



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**2-4 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
15-011 C

SHEET 6 OF 9 – JUNE 2015

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_

# **SPECIFICATIONS OF NEW WORK**

## **Masonry Restoration –**

- Selectively repoint deteriorated mortar joints to match original in mortar mix, color and profile; Replace missing and/or deteriorated brick units to match existing in size, composition and appearance.

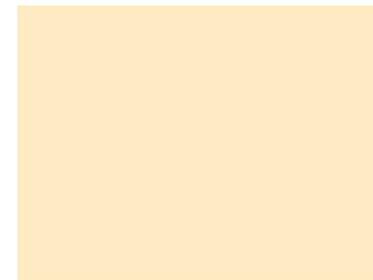
### *Procedures for Repointing:*

- Remove existing mortar in areas of repointing to a minimum of 2½ times the width of the joint or until deteriorated mortar is removed. (For brick, approximately ½” to 1” deep.)
- Before filling, remove particles from joints with water. Joints should be damp and without standing water at the time of repointing.
- Apply mortar in ¼” layers, packing it well back into the corners. Apply additional layers when installed mortar has reached thumb-print hardness.
- Tool final layer to match historic joint profile when mortar is thumb-print hard. Proper timing is important to match color and appearance.
- Carefully clean excess mortar from masonry surface with a stiff natural or nylon bristle brush avoiding brushing and damaging new mortar joints. Use of metal scrapers and acidic cleaners shall not be used on historic masonry.
- Cure mortar by maintaining in a damp condition for at least 72 hours by mist spraying.

*\* Masonry restoration work to be consistent with National Park Service Preservation Brief #2: Repointing Mortar Joints in Historic Masonry Buildings*

## **Paint Colors –**

Benjamin Moore Exterior Paint, Semi-gloss or approved equal. Provide primer and finish coat materials that are compatible with one another and recommended by the manufacturer for application indicated.



HC-61 New London Burgundy 2155-60 Cream Yellow



HC-118 Sherwood Green 1488 Sage mountain

## **Awning –**

Kohler commercial awning or approved equal. New canvas awning shall be commercial wedge awning with anchoring per manufacturer’s written recommendations. Fabric to be Sunbrella or approved equal.



4617-Royal Blue Tweed 4688- Basil

## **Storefront –**

Reconstruct north storefront to match the already completed south storefront. New glazing in storefront windows and doors should be a tempered low-e insulated glass product.

New aluminum storefront doors by Kawneer or approved equal as a design-build installation project by the General Contractor. The Architect is not designing the system. The manufacturer must certify the installation to the owner.

## **Replacement Windows –**

Marvin Windows Ultimate Double Hung or approved equal. Aluminum clad wood double hung unit with true radius upper sash and frame. Insulated glass.



Exterior Finish – Hampton Sage



Interior Finish – Factory Primed White

## **Roof –**

*EPDM Roof – New EPDM roof by Firestone or approved equal as a design-build roofing project by the General Contractor’s roofer. The Architect is not designing the roof. The roofer must be certified by the manufacturer of the roofing system. The manufacturer must certify the installation to the owner.*



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**2-4 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 C**

**SHEET 7 OF 9 – JUNE 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

## General Notes:

### **PRE-BID**

Note 1: A pre-bid site visit will be scheduled during the bid period by the Livingston County Development Corporation Downtown Coordinator, Louise Wadsworth, (585) 243-6930. The scope of work has been approved by the NYS Historic Preservation Office & NY Main Street Program in accordance with the requirements of the NY Main Street Program Grant Funds. The NY Main Street Program does not require prevailing wage rate for bids.

### **BID**

Note 2: Provide add and deduct unit costs and units for materials as indicated in the specifications.

### **CONTRACT**

Note 3: The Contractor shall obtain all required building permits and pay all fees.

Note 4: The Contractor shall field verify all existing conditions prior to the start of work. If there are any discrepancies, contact the Architect.

Note 5: All work by the General Contractor, subcontractors and suppliers shall be carried out in accord with AIA document A201, General conditions of the contract for construction. Please contact Architect for a copy.

Note 6: The Contractor shall provide temporary barricades and protection for safety during and after working hours.

Note 7: The Contractor shall keep the work and surrounding areas clean during and after working hours. Remove all waste, debris and removed material at the end of each working day.

Note 8: Prior to the start of construction the Contractor shall provide Livingston County Development Corporation with all current insurance certificates.

Note 9: All work shall be in accordance with the New York Main Street Program – Property Owner Agreement, obtain from Livingston County Development Corporation. The Contractor will guarantee work for 1 year.

Note 10: The Contractor shall provide (1) set of shop drawings and / or product information to the Architect for review and approval. All color selections will be approved by the Owner and Architect. Only approved shop drawings and submittals are allowed at the site.

### **CHANGES**

Note 11: Any change in the work must be reviewed by the LCDC Downtown Coordinator and the Architect. The Contractor shall provide sequentially numbered change order proposals that include changes in work scope, costs and time. Any changes made prior to an approved change order will be completed at the contractor's risk. Prepare change requests on AIA document furnished by the Architect.

### **CLOSE OUT**

Note 12: Project close out: The Contractor shall inform the Program Manager and the Architect when all contracted work has been completed. A final site inspection will be scheduled. Any outstanding work and all warranties must be completed prior to the final payment.

## General Specifications:

- 1.0 General Contractor and all Sub-Contractors must be certified by the product manufacturer where certification of installation is available by manufacture for safety.
- 2.1 Protect adjacent property during construction. Provide all necessary temporary fencing and locate staging area for materials and location for dumpster.
- 2.3 Coordinate all electrical removals and connections with the local electrical utility company. Coordinate work with telephone company.
- 6.1 All wood blocking and trim shall be pressure treated. Match profiles indicated on the documents.
- 6.3 All plywood shall be CDX for wall sheathing. Use high-density urethane (HDU) or Aluma-lite Panel board for signs. All other plywood shall be water retardant.
- 7.1 New metal flashing shall match existing in material thickness and color.
- 7.5 All sealant shall be 25 year, silicone based sealant for each application required.
- 8.1 Install all work as per manufacturer's instructions.
- 9.1 All paint shall be the type required for each application. Provide Architect with product information and color chart for each application.
- 10.1 New canvas awnings shall be constructed of aluminum tubing with anchoring per manufacturer's recommendation. Architect and Owner shall select and approve awning color and pattern.

Protect Existing work



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**2-4 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 C**

**SHEET 8 OF 9 – JUNE 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

# ORDER OF MAGNITUDE COST ESTIMATES & 14.09 LETTER

PROPOSED SCOPE OF WORK	Total Construction Cost
15-011B 2 Commercial Street, Livonia - Shelby's	
<b>SCOPE OF WORK – FRONT FACADE</b>	
1) Remove vinyl siding and associated components	\$ 1,000
1) Remove existing 2 <sup>ND</sup> floor windows (6) and associated components. Replace with aluminum clad double hung wood window to replicate visual characteristics of the original units based on photographic evidence.	\$ 6,000
1) Remove existing storefront (north storefront only, protect south storefront) and associated components. Reconstruct north storefront to match the already completed south storefront.	\$ 3,600
1) Remove existing entrance doors and associated components. Replace with ¾ lite aluminum storefront door with transom above.	\$ 1,600
1) Repoint missing/or deteriorated mortar with mortar to match existing in mix, color, and profile	\$ 10,000
1) Repair, prime, and paint metal cornice	\$ 2,000
1) Complete roof tear-off and removal. Install insulated EPDM roofing system with 20 yr min. warranty (Firestone or approved equal) tapered to drains.	\$ 18,000
<b>SCOPE OF WORK – SIDE ELEVATION</b>	
1) Remove existing 2 <sup>nd</sup> floor windows (3) and associated components. Replace with aluminum clad double hung wood window to replicate visual characteristics of the original units based on photographic evidence.	\$ 3,000
1) Re-point missing/or deteriorated mortar with mortar to match existing in mix, color, and profile	\$ 5,000
1) Repair, prime, and paint metal cornice	\$ 1,800
<b>SCOPE OF WORK – REAR ELEVATION</b>	
1) Remove vinyl siding and associated components	\$ 2,000
1) Remove existing windows and associated components. Replace with aluminum clad double hung wood window to replicate visual characteristics of the original units based on photographic evidence.	\$ 12,000
1) Install canvas fabric awnings with signage	\$ 5,000
INTERIOR - Update Electrical System for 2nd floor apts.	\$ 1,500
<b>PRELIMINARY PROJECT BUDGET</b>	<b>\$ 72,500</b>



ANDREW M. CUOMO  
Governor

**Parks, Recreation,  
and Historic Preservation**

ROSE HARVEY  
Commissioner

June 26, 2015

Ms. Alma Brown  
Project Manager  
CBCA  
617 Main Street  
Suite M303  
Buffalo, NY 14203

Re: HTFMS  
Livingston County Dev NY Main Street TA Project  
2 Commercial Street, Livonia, NY 14487  
15PR03329  
15-011

Dear Ms. Brown:

Thank you for requesting the comments of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the OPRHP and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6 NYCRR Part 617).

Based upon this review, it is the New York State Office of Parks, Recreation and Historic Preservation's opinion that your project will have no impact on archaeological and/or historic resources listed in or eligible for the New York State and National Registers of Historic Places.

If further correspondence is required regarding this project, please be sure to refer to the OPRHP Project Review (PR) number noted above.

Sincerely,

Ruth L. Pierpont  
Deputy Commissioner for Historic Preservation

Division for Historic Preservation

P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • www.nysparks.com



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**2-4 COMMERCIAL STREET, LIVONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 C**

SHEET 9 OF 9 – JUNE 2015

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_



Front (Southwest) Façade



Rear (Northeast) Façade

## EXECUTIVE SUMMARY

The commercial building at 3175 State Street in Caledonia, NY is currently home to Padgett Business Services and Caledonia Laundromat, LLC. The building construction date is ca. 1920

Two-story, commercial concrete block and frame building with irregular massing and a cross-gable roof. The front (southwest) facade is a two-part commercial block featuring three-sections of storefront and finished in vinyl siding. The northwest section features a central entrance with flanking windows, a flat canopy supported back to the structure, and a single second story window; the central portion features a deeply recessed entrance door with flanking storefront display windows on wood paneled bulkheads, a shed roof canopy, and two small attic windows; the southeast section is utilitarian in design with a single utility door trimmed out in vinyl. The rear elevation is more residential in feel with vinyl windows, doors, and siding.

Overall, the building is in excellent condition.

The owner's scope of work includes:

- Remove roof canopy at Laundry, patch. Remove existing storefront, furnish and install new storefront system matching historic storefront in historic photo. Remove existing entrance door, furnish and install new wood entrance door matching historic door in historic photo. Replace vinyl siding in-kind as needed.
- Remove half-round decorations above second story windows.
- Furnish and install fypon cornice to match historic cornice in historic photo
- Install new door system matching existing door at laundry storage entrance.
- Furnish and install canopy at laundry storage match canopy at Padgett's
- Construct in laundry storage new entrance and stair to second floor.
- Install new window at second floor of laundry storage area to match window at second floor of Padgett's.
- Construct two apartments in vacant second floor space.
- Install three (3) skylight windows at roof as shown.



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**PADGETT BUSINESS SERVICES**  
**3175 STATE STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 E**

SHEET 1 OF 7 – JUNE 2015

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_



Historic photo of 3175 State Street, date unknown

## **BUILDING CODE STATUS**

Preliminary discussion with the Village of Caledonia Code Enforcement Officer indicated there are no current code violations. The Building is currently in compliance.

## **GENERAL BUILDING CONDITIONS ANALYSIS**

A review of existing visible exterior façade conditions at 3175 Main Street, Caledonia shows that the building appears to be in excellent condition.



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**PADGETT BUSINESS SERVICES**  
**3175 STATE STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
*15-011 E*

**SHEET 2 OF 7 – JUNE 2015**

**Owner Approval:** \_\_\_\_\_

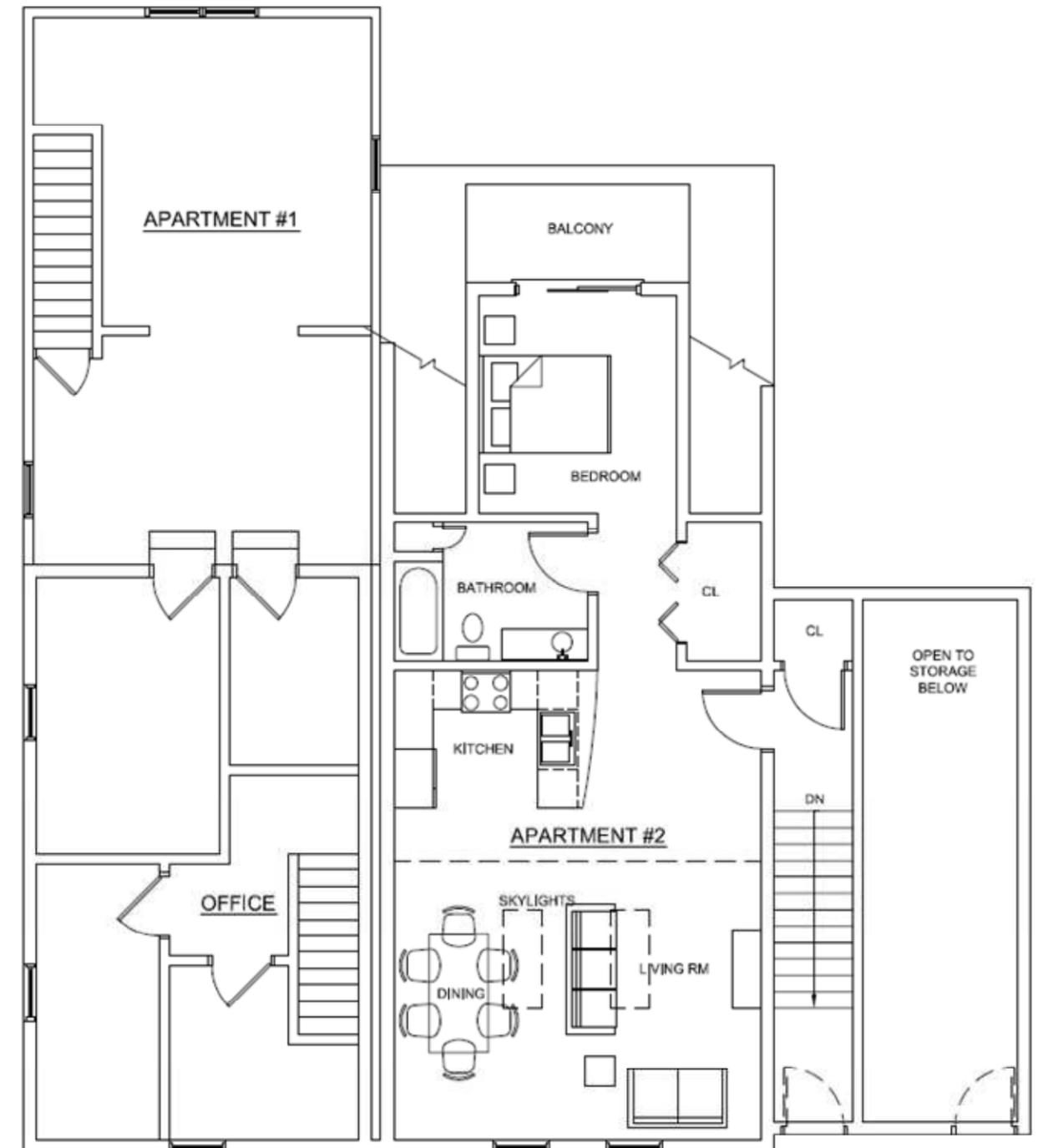
**Date:** \_\_\_\_\_

# PROPOSED DESIGN CONCEPT RENDERING



Front (Southwest) Façade Rendering

# Proposed Second Floor Plan



**NOT FOR CONSTRUCTION**



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

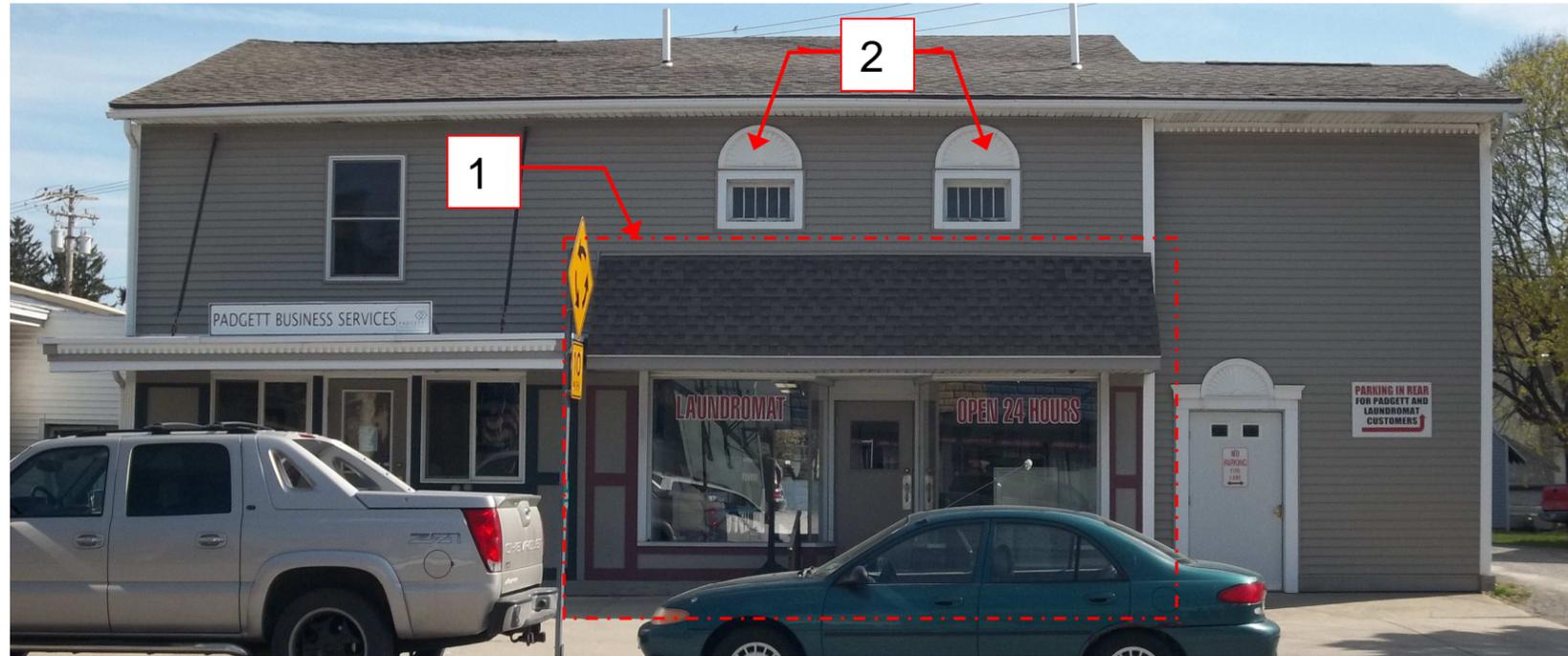
**PADGETT BUSINESS SERVICES**  
**3175 STATE STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 E**

SHEET 3 OF 7 – JUNE 2015

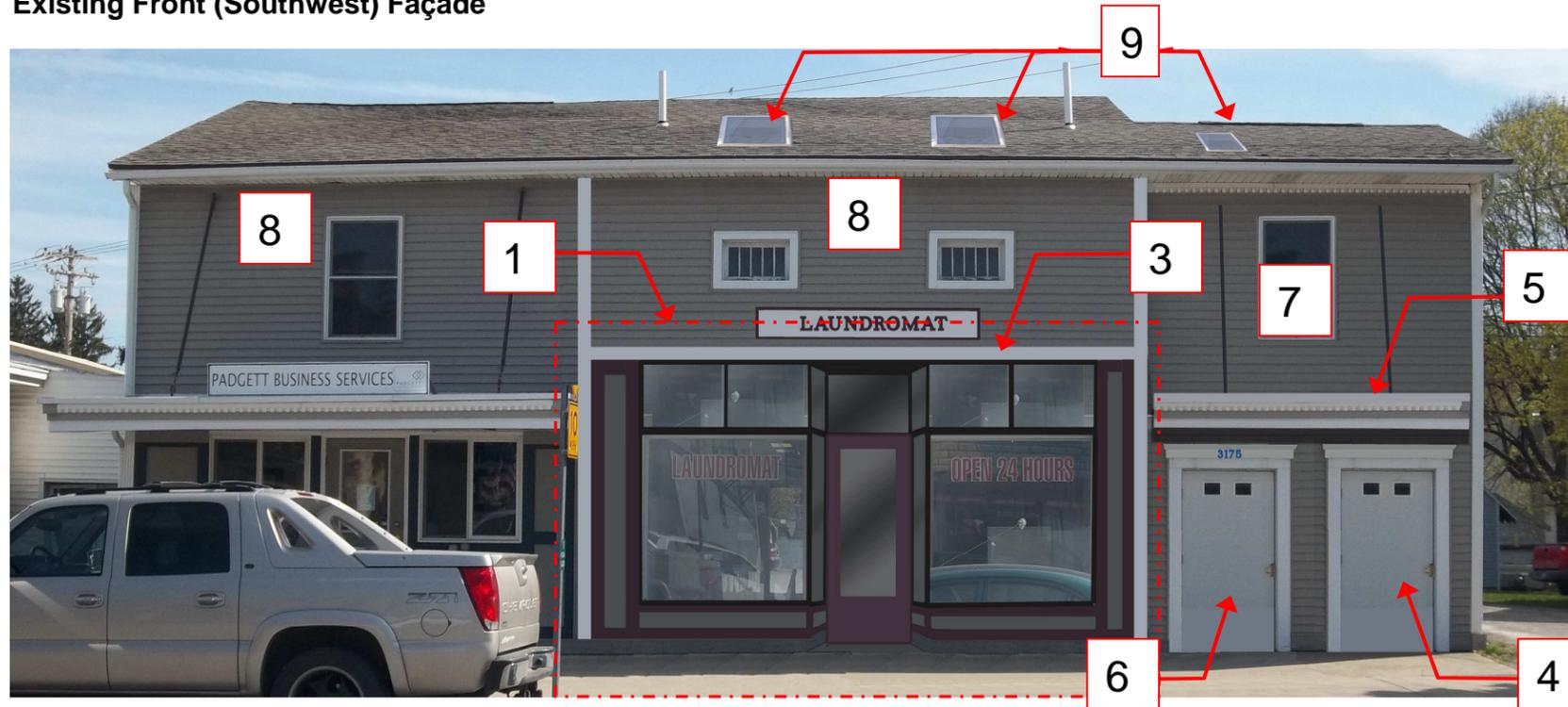
Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_

## RECOMMENDED FAÇADE RENOVATIONS



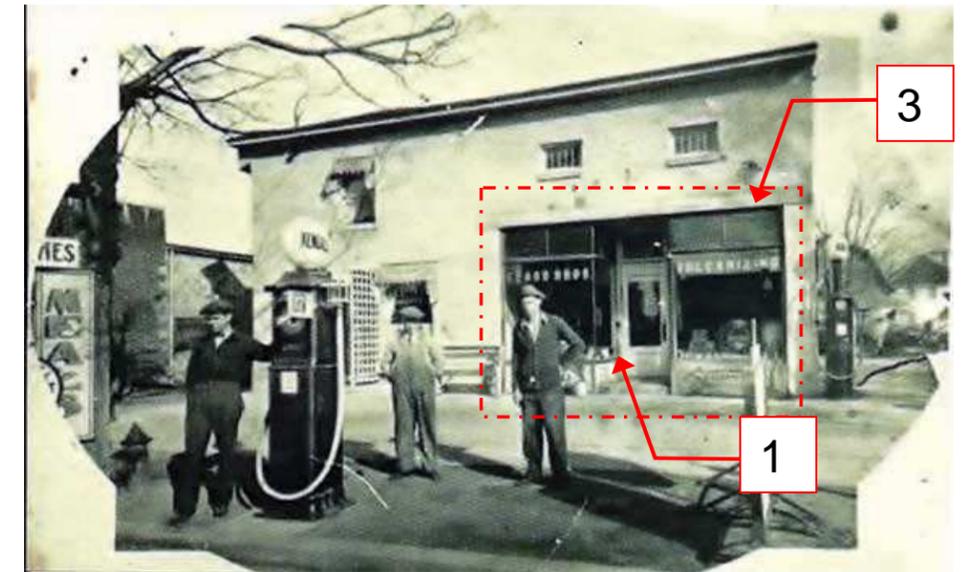
Existing Front (Southwest) Façade



Front (Southwest) Façade Rendering

## SCOPE OF WORK

- 1) Remove roof canopy at Laundry, patch existing siding. Remove existing storefront, furnish and install new storefront system similar in profile to historic storefront in historic photo. Remove existing entrance door, furnish and install new wood entrance door similar in profile to historic door in historic photo. Replace vinyl siding in-kind as needed.
- 2) Remove half-round decorations above second story windows.
- 3) Furnish and install fypon cornice to match historic cornice in historic photo
- 4) Install new door system matching existing door at laundry storage entrance.
- 5) Furnish and install canopy at laundry storage match canopy at Padgett's.
- 6) Construct in laundry storage new entrance and stair to second floor.
- 7) Install new window at second floor of laundry storage area to match window at second floor of Padgett's.
- 8) Construct two apartments in vacant second floor space.
- 9) Install three (3) skylight windows at roof as shown.



Historic photo of 3175 State Street, date unknown



Clinton Brown Company Architecture pc  
 The Market Arcade 617 Main Street, Suite M303  
 Buffalo, New York 14203  
 Ph. 716-852-2020 fax. 716-852-3132  
 © 2015

**PADGETT BUSINESS SERVICES**  
**3175 STATE STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
 15-011 E

SHEET 4 OF 7 – JUNE 2015

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_

# SPECIFICATIONS OF NEW WORK

## **Storefront System-**

- Install new storefront system, similar in profile to historic photo, complete with transom windows, use Kawneer system or approved equal.

## **Doors –**

- Laundrymat Entrance Door – replace existing door with Jeld-wen Authentic Wood Glass Panel Exterior Door Model 5101 or approved equal.



- Laundry Storage Door (new entrance) – match existing Laundry storage door.

## **Windows –**

- Second story at Laundry storage wing - install new window to match second story window at Padgett's.

## **Signage –**

- Laundrymat Entrance Signage - Install sign above storefront cornice, Aluma-lite Panel or HDU Board. Final design & text to be determined by Owner

## **Canopy –**

- New canopy at laundry storage wing, match existing canopy specifications at Padgett's

## **Skylight –**

- Velux Curb Mounted Skylight (FCM) with Laminated glass or approved equal.



## **Paint –**

- Door and accent colors for Laundrymat Storefront. – New London Burgundy or approved equal



HC-61  
new london burgundy



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**PADGETT BUSINESS SERVICES**  
**3175 STATE STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 E**

SHEET 5 OF 7 – JUNE 2015

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_

## General Notes:

### PRE-BID

Note 1: A pre-bid site visit will be scheduled during the bid period by the Livingston County Development Corporation Downtown Coordinator, Louise Wadsworth, (585) 243-6930. The scope of work has been approved by the NYS Historic Preservation Office & NY Main Street Program in accordance with the requirements of the NY Main Street Program Grant Funds. The NY Main Program does not require prevailing wage rate for bids.

### BID

Note 2: Provide add and deduct unit costs and units for materials as indicated in the specifications.

### CONTRACT

Note 3: The Contractor shall obtain all required building permits and pay all fees.

Note 4: The Contractor shall field verify all existing conditions prior to the start of work. If there are any discrepancies, contact the Architect.

Note 5: All work by the General Contractor, subcontractors and suppliers shall be carried out in accord with AIA document A201, General conditions of the contract for construction. Please contact Architect for a copy.

Note 6: The Contractor shall provide temporary barricades and protection for safety during and after working hours.

Note 7: The Contractor shall keep the work and surrounding areas clean during and after working hours. Remove all waste, debris and removed material at the end of each working day.

Note 8: Prior to the start of construction the Contractor shall provide Livingston County Development Corporation with all current insurance certificates.

Note 9: All work shall be in accordance with the New York Main Street Program – Property Owner Agreement, obtain from Livingston County Development Corporation. The Contractor will guarantee work for 1 year.

Note 10: The Contractor shall provide (1) set of shop drawings and / or product information to the Architect for review and approval. All color selections will be approved by the Owner and Architect. Only approved shop drawings and submittals are allowed at the site.

### CHANGES

Note 11: Any change in the work must be reviewed by the LCDC Downtown Coordinator and the Architect. The Contractor shall provide sequentially numbered change order proposals that include changes in work scope, costs and time. Any changes made prior to an approved change order will be completed at the contractor's risk. Prepare change requests on AIA document furnished by the Architect.

### CLOSE OUT

Note 12: Project close out: The Contractor shall inform the Program Manager and the Architect when all contracted work has been completed. A final site inspection will be scheduled. Any outstanding work and all warranties must be completed prior to the final payment.

## General Specifications:

- 1.0 General Contractor and all Sub-Contractors must be certified by the product manufacturer where certification of installation is available by manufacture for safety.
- 2.1 Protect adjacent property during construction. Provide all necessary temporary fencing and locate staging area for materials and location for dumpster.
- 2.3 Coordinate all electrical removals and connections with the local electrical utility company. Coordinate work with telephone company.
- 6.1 All wood blocking and trim shall be pressure treated. Match profiles indicated on the documents.
- 6.3 All plywood shall be CDX for wall sheathing. Use high-density urethane (HDU) or Aluma-lite Panel board for signs. All other plywood shall be water retardant.
- 7.1 New metal flashing shall match existing in material thickness and color.
- 7.5 All sealant shall be 25 year, silicone based sealant for each application required.
- 8.1 Install all work as per manufacturer's instructions.
- 9.1 All paint shall be the type required for each application. Provide Architect with product information and color chart for each application.
- 10.1 New canvas awnings shall be constructed of aluminum tubing with anchoring per manufacturer's recommendation. Architect and Owner shall select and approve awning color and pattern.



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**PADGETT BUSINESS SERVICES**  
**3175 STATE STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 E**

**SHEET 6 OF 7 – JUNE 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

## ORDER OF MAGNITUDE COST ESTIMATES & 14.09 LETTER

PROPOSED SCOPE OF WORK	Total Construction Cost
1) Remove roof canopy at Laundry, patch existing siding. Remove existing storefront, furnish and install new storefront system similar in profile to historic storefront in historic photo. Remove existing entrance door, furnish and install new wood entrance door similar in profile to historic door in historic photo. Replace vinyl siding in-kind as needed.	\$ 3,400
2) Remove half-round decorations above second story windows.	\$ 100
3) Furnish and install fypon cornice to match historic cornice in historic photo	\$ 500
4) Install new door system matching existing door at laundry storage entrance.	\$ 750
5) Furnish and install canopy at laundry storage match canopy at Padgett's.	\$ 1,500
6) Construct in laundry storage new entrance and new stair to second floor.	\$ 2,000
7) Install new window at second floor of laundry storage area to match window at second floor of Padgett's.	\$ 600
9) Install three (3) skylight windows at roof as shown.	\$ 1,500
8) Construct two apartments in vacant second floor space.	
Apt 1 - 677 sq ft - mostly finished	\$ 2,775
Apt 2 825 sq ft - complete build out @ \$75/sq ft budget	\$ 61,875
<b>PRELIMINARY PROJECT BUDGET</b>	<b>\$ 75,000</b>



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**PADGETT BUSINESS SERVICES**  
**3175 STATE STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011 E**

SHEET 7 OF 7 – JUNE 2015

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_



Front (South) Façade



Rear (North) Façade

## **EXECUTIVE SUMMARY**

The ca. 1885 commercial building at 3113 Main Street in Caledonia, NY is currently home to McKay Curiosities.

Two-story, commercial brick masonry building with rectangular massing and a flat roof. The front (south) facade is a two-part commercial block featuring an orange colored brick in a modest Queen Anne design. The ground level features the original storefront with centered cast iron column, recessed paired entrances and flanking storefront display windows on paneled wood bulkheads; an offset entrance to the second floor is located in east bay. The second story features a symmetrical design of two polygonal oriel windows with 1/1 double hung wood windows, decorative wood shingles, and simple metal cornice. The building is topped with a decorative brick cornice.

The rear (north) elevation is utilitarian in its design and features a plain red brick masonry facade with semi-arched openings of 2/2 double hung wood and paired contemporary 1/1 window units. A partial-width wood deck and frame shed enclosure have been added.

Overall, the building is in good condition. Entry doors, wood sills under storefronts, storefront windows and second story windows are deteriorated and in need of repair. The masonry rear façade is sagging and in need of structural evaluation and repair.

The owner's scope of work includes:

- Remove damaged wood at storefront and restore with pressure-treated wood to match, caulk and paint 3 coats
- Repair and restore all front entry doors and frames, remove paint while protecting wood finish, stain and varnish
- Repair and restore second floor windows, caulk joints, scrape and paint, furnish and install new wood storms windows and screens, painted.
- Furnish and install roll up awning systems
- Restore masonry on rear elevation, assume 40%
- Furnish and install cornice matching original



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**MCKAY CURIOSITIES**  
**3113 MAIN STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011F**

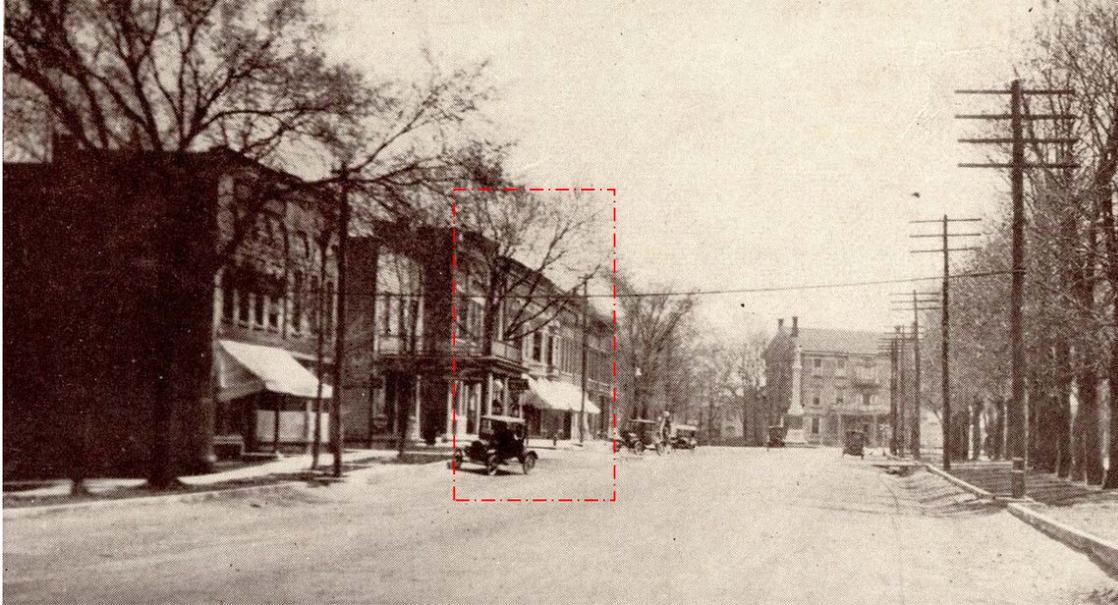
**DRAFT EVALUATION**  
**SHEET 1 OF 7 – JUNE 30, 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_



Burleigh Litho Co. , View of Main Street, 3113 Main Street indicated by red box. View of 3113 Main Street, Undated



Ca. 1915, View of Main Street, 3113 Main Street indicated by red box.

## **BUILDING CODE STATUS**

After preliminary discussion, the Code Enforcement Officer has not reported any code violation. Building is currently in compliance.

## **GENERAL BUILDING CONDITIONS ANALYSIS**

A review of existing visible exterior façade conditions at 3113 Main Street, Caledonia shows that the building appears to be in good condition. Entry doors, wood sills under storefronts, storefront windows and second story windows are deteriorated and in need of repair. The masonry rear façade is sagging and in need of structural evaluation and repair. Existing storm windows need to be replaced.

Recommendation:

- Undertake a review of the roof before construction.
- Have an engineer look at failing masonry at rear (north) facade



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**MCKAY CURIOSITIES**  
**3113 MAIN STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011F**

**DRAFT EVALUATION**  
**SHEET 2 OF 7 – JUNE 30, 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

**PROPOSED DESIGN CONCEPT RENDERING**



Front (South) Façade



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

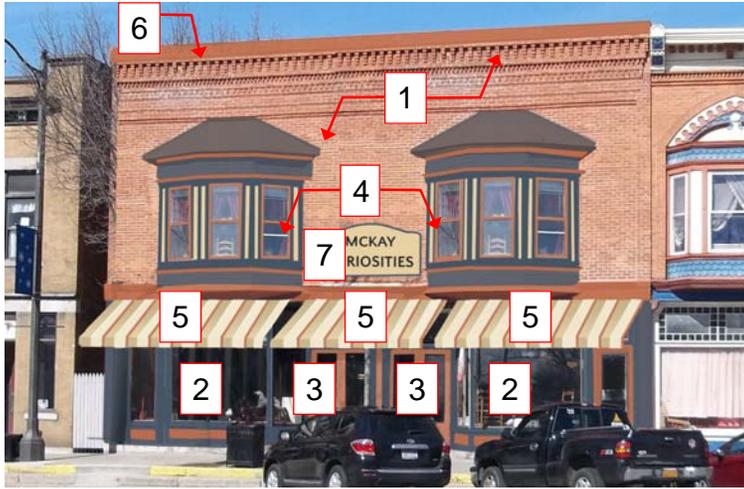
**MCKAY CURIOSITIES**  
**3113 MAIN STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011F**

**DRAFT EVALUATION**  
**SHEET 3 OF 7 – JUNE 30, 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

## RECOMMENDED FAÇADE RENOVATIONS



Front (South) Façade Rendering



Detail of Front (South) Façade Storefront



Rear (North) Façade



Deterioration of Rear (North) Façade

## SCOPE OF WORK

### Front façade:

- 1) Repoint missing/or deteriorated mortar with mortar to match existing in mix, color, and profile
- 2) Remove damaged wood at storefront and restore with pressure-treated wood to match, caulk, prime 1 coat, paint 2 coats.
- 2A) Reset loose storefront glazing. Laminate glass with UV filtering film.
- 3) Repair and restore all front entry doors and frames, remove paint while protecting wood finish, stain and varnish
- 4) Repair and restore second floor windows, caulk joints, scrape and paint, furnish and install new wood storms windows and screens, painted.
- 5) Furnish and install roll up awning systems
- 6) Furnish and install cornice matching original
- 7) Furnish and Install new sign

### Rear façade:

- 8A) Repoint missing/or deteriorated mortar with mortar to match existing in mix, color, and profile. (Assume 40%)
- 8B) Repair failed masonry at 1<sup>st</sup> floor window



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**MCKAY CURIOSITIES**  
**3113 MAIN STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011F**

**DRAFT EVALUATION**  
**SHEET 4 OF 7 – JUNE 30, 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

## SPECIFICATIONS OF NEW WORK

### Masonry Restoration –

- Selectively repoint deteriorated mortar joints to match original in mortar mix, color and profile; Replace missing and/or deteriorated brick units to match existing in size, composition and appearance.

#### *Procedures for Repointing:*

- Remove existing mortar in areas of repointing to a minimum of 2½ times the width of the joint or until deteriorated mortar is removed. (For brick, approximately ½” to 1” deep.)
- Before filling, remove particles from joints with water. Joints should be damp and without standing water at the time of repointing.
- Apply mortar in ¼” layers, packing it well back into the corners. Apply additional layers when installed mortar has reached thumb-print hardness.
- Tool final layer to match historic joint profile when mortar is thumb-print hard. Proper timing is important to match color and appearance.
- Carefully clean excess mortar from masonry surface with a stiff natural or nylon bristle brush avoiding brushing and damaging new mortar joints. Use of metal scrapers and acidic cleaners shall not be used on historic masonry.
- Cure mortar by maintaining in a damp condition for at least 72 hours by mist spraying.

*\* Masonry restoration work to be consistent with National Park Service Preservation Brief #2: Repointing Mortar Joints in Historic Masonry Buildings*

### Paint Colors –



- *First Floor* - Benjamin Moore Newburyport Blue with Suntan Bronze accents or approver equal.
- *Bay Windows* - Benjamin Moore Newburyport Blue with Suntan Bronze and Desert tan accents or approved equal.
- *Cornice* - Benjamin Moore Newburyport Suntan Bronze

### Signage –

- Install sign in existing sign location entry door, Aluma-lite Panel or HDU Board.
- Design to be determined by Owner

### Awning –



- New canvas awning shall be roll awnings with anchoring per manufacturer's recommendation. Kohler Commercial Awnings or approved equal.
- Fabric Sunbrella 4857 Colonnade Redwood
- Architect and Owner shall select and approve awning color.

### Storefront Windows –

- Install UV film - 3M Sun Control Window Film, Prestige 70 in clear with ten year warranty

### Storefront Doors –

- Repair and restore all front entry doors and frames, remove paint while protecting wood finish and sand smooth. When the surface is prepared, apply at least three coats of marine spar varnish with UV inhibitors. Apply following manufacturer's written instruction.

### Storm Windows –



- SpencerWorks All-Season Hanging Window or approved equal.



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**MCKAY CURIOSITIES**  
**3113 MAIN STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011F**

**DRAFT EVALUATION**  
**SHEET 5 OF 7 – JUNE 30, 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

## General Notes:

### **PRE-BID**

Note 1: A pre-bid site visit will be scheduled during the bid period by the Livingston County Development Corporation Downtown Coordinator, Louise Wadsworth, (585) 243-6930. The scope of work has been approved by the NYS Historic Preservation Office & NY Main Street Program in accordance with the requirements of the NY Main Street Program Grant Funds. The NY Main Program does not require prevailing wage rate for bids.

### **BID**

Note 2: Provide add and deduct unit costs and units for materials as indicated in the specifications.

### **CONTRACT**

Note 3: The Contractor shall obtain all required building permits and pay all fees.

Note 4: The Contractor shall field verify all existing conditions prior to the start of work. If there are any discrepancies, contact the Architect.

Note 5: All work by the General Contractor, subcontractors and suppliers shall be carried out in accord with AIA document A201, General conditions of the contract for construction. Please contact Architect for a copy.

Note 6: The Contractor shall provide temporary barricades and protection for safety during and after working hours.

Note 7: The Contractor shall keep the work and surrounding areas clean during and after working hours. Remove all waste, debris and removed material at the end of each working day.

Note 8: Prior to the start of construction the Contractor shall provide Livingston County Development Corporation with all current insurance certificates.

Note 9: All work shall be in accordance with the New York Main Street Program – Property Owner Agreement, obtain from Livingston County Development Corporation. The Contractor will guarantee work for 1 year.

Note 10: The Contractor shall provide (1) set of shop drawings and / or product information to the Architect for review and approval. All color selections will be approved by the Owner and Architect. Only approved shop drawings and submittals are allowed at the site.

### **CHANGES**

Note 11: Any change in the work must be reviewed by the LCDC Downtown Coordinator and the Architect. The Contractor shall provide sequentially numbered change order proposals that include changes in work scope, costs and time. Any changes made prior to an approved change order will be completed at the contractor's risk. Prepare change requests on AIA document furnished by the Architect.

### **CLOSE OUT**

Note 12: Project close out: The Contractor shall inform the Program Manager and the Architect when all contracted work has been completed. A final site inspection will be scheduled. Any outstanding work and all warranties must be completed prior to the final payment.

## General Specifications:

- 1.0 General Contractor and all Sub-Contractors must be certified by the product manufacturer where certification of installation is available by manufacture for safety.
- 2.1 Protect adjacent property during construction. Provide all necessary temporary fencing and locate staging area for materials and location for dumpster.
- 2.3 Coordinate all electrical removals and connections with the local electrical utility company. Coordinate work with telephone company.
- 6.1 All wood blocking and trim shall be pressure treated. Match profiles indicated on the documents.
- 6.3 All plywood shall be CDX for wall sheathing. Use high-density urethane (HDU) or Aluma-lite Panel board for signs. All other plywood shall be water retardant.
- 7.1 New metal flashing shall match existing in material thickness and color.
- 7.5 All sealant shall be 25 year, silicone based sealant for each application required.
- 8.1 Install all work as per manufacturer's instructions.
- 9.1 All paint shall be the type required for each application. Provide Architect with product information and color chart for each application.
- 10.1 New canvas awnings shall be constructed of aluminum tubing with anchoring per manufacturer's recommendation. Architect and Owner shall select and approve awning color and pattern.

Protect Existing work



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**MCKAY CURIOSITIES**  
**3113 MAIN STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011F**

**DRAFT EVALUATION**  
**SHEET 6 OF 7 – JUNE 30, 2015**

**Owner Approval:** \_\_\_\_\_

**Date:** \_\_\_\_\_

# ORDER OF MAGNITUDE COST ESTIMATE & 14.09 Letter

PROPOSED SCOPE OF WORK	Total Construction Cost
15-011 K - 3113 Main St Caledonia - McKay's Curiosities	
<b>Front façade:</b>	
1) Repoint missing/or deteriorated mortar with mortar to match existing in mix, color, and profile Approx 300 sq ft of masonry restoration, unit price for additional	\$ 14,000.00
2) Remove damaged wood at storefront and restore with pressure-treated wood to match, caulk, prime 1 coat, paint 2 coats.	\$ 2,530.00
2A) Reset loose storefront glazing. Laminate glass with UV filtering film.	\$ 5,100.00
3) Repair and restore all front entry doors and frames, remove paint while protecting wood finish, stain and varnish	\$ 3,800.00
4) Repair and restore second floor windows, caulk joints, scrape and paint, furnish and install new wood storms windows and screens, painted.	\$ 1,200.00
5) Furnish and install retractable awning systems x3	\$ 4,000.00
6) Scrape & Paint existing cornice	\$ 800.00
7) Furnish and Install new sign	\$ 1,000.00
<b>Rear façade:</b>	
8A) Repoint missing/or deteriorated mortar with mortar to match existing in mix, color, and profile. (Assume 300 sq ft)	\$ 14,000.00
8B) Repair failed masonry at 1st floor window	\$ 500.00
Recommendation to engage engineer to review reason for failed masonry at rear elevation	\$ 600.00
<b>PRELIMINARY PROJECT BUDGET</b>	<b>\$ 47,530.00</b>



## Parks, Recreation, and Historic Preservation

ANDREW M. CUOMO  
Governor

ROSE HARVEY  
Commissioner

June 30, 2015

Ms. Alma Brown  
Project Manager  
CBCA  
617 Main Street, Suite M303  
Buffalo, NY 14203

Re: HTFMS  
Livingston County Development Corp NY Main Street TA  
3113 Main, Caledonia, NY 14423  
15PR03256  
15-011

Dear Ms. Brown:

Thank you for requesting the comments of the Division for Historic Preservation of the Office of Parks, Recreation and Historic Preservation (OPRHP). We have reviewed the project in accordance with the New York State Historic Preservation Act of 1980 (Section 14.09 of the New York Parks, Recreation and Historic Preservation Law). These comments are those of the Division for Historic Preservation and relate only to Historic/Cultural resources. They do not include potential environmental impacts to New York State Parkland that may be involved in or near your project. Such impacts must be considered as part of the environmental review of the project pursuant to the State Environmental Quality Review Act (New York Environmental Conservation Law Article 8) and its implementing regulations (6NYCRR Part 617).

3113 Main Street has previously been determined eligible for listing on the State and National Register of Historic Places. We understand the scope of work to include work to both the front and rear facades including wood repair, repointing, the repair and restoration of the front entry doors, windows, and second floor wood windows, and work to the cornice. We recommend that the guidelines found in NPS Preservation Brief #2 for repointing work are followed.  
<http://www.nps.gov/tps/how-to-preserve/briefs/2-repoint-mortar-joints.htm>

Based upon this review, it is the OPRHP's opinion that your project will have No Adverse Impact upon cultural resources in or eligible for inclusion in the State and National Register of Historic Places.

If further correspondence is required regarding this project, I can be reached at (518) 268-2164 or at [eric.kuchar@parks.ny.gov](mailto:eric.kuchar@parks.ny.gov). Please be sure to refer to the Project Review (PR) number noted above.

Sincerely,

Eric N. Kuchar  
Historic Preservation Technical Specialist

via e-mail only

Division for Historic Preservation  
P.O. Box 189, Waterford, New York 12188-0189 • (518) 237-8643 • [www.nysparks.com](http://www.nysparks.com)



Clinton Brown Company Architecture pc  
The Market Arcade 617 Main Street, Suite M303  
Buffalo, New York 14203  
Ph. 716-852-2020 fax. 716-852-3132  
© 2015

**MCKAY CURIOSITIES**  
**3113 MAIN STREET, CALEDONIA, NY**  
**DOWNTOWN PLANNING STUDY**  
**LIVINGSTON COUNTY DEVELOPMENT**  
**15-011F**

**DRAFT EVALUATION**  
**SHEET 7 OF 7 – JUNE 30, 2015**

Owner Approval: \_\_\_\_\_

Date: \_\_\_\_\_